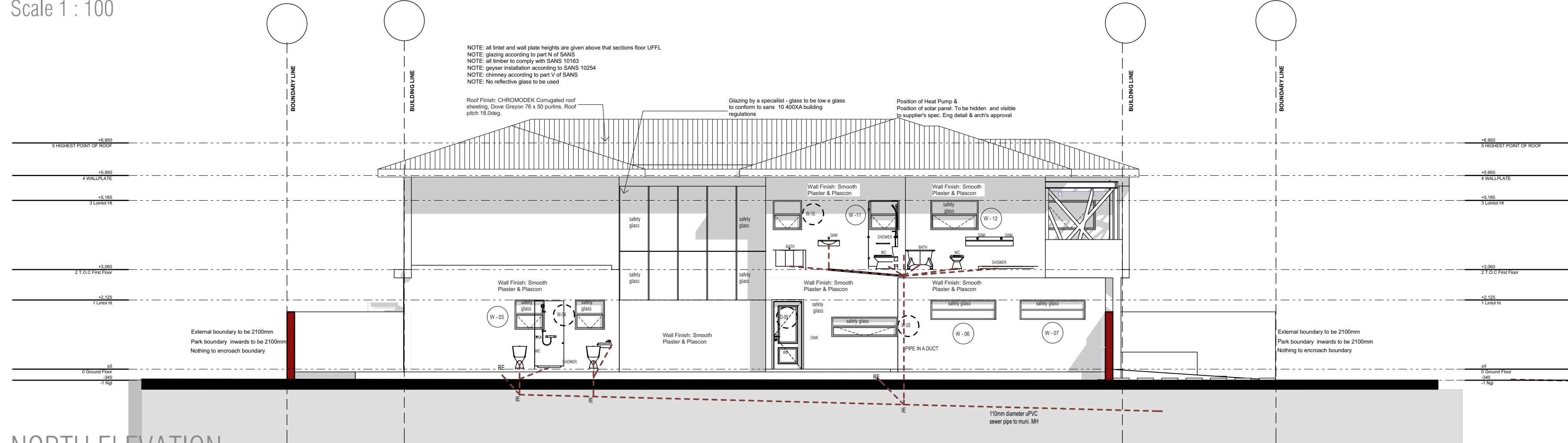


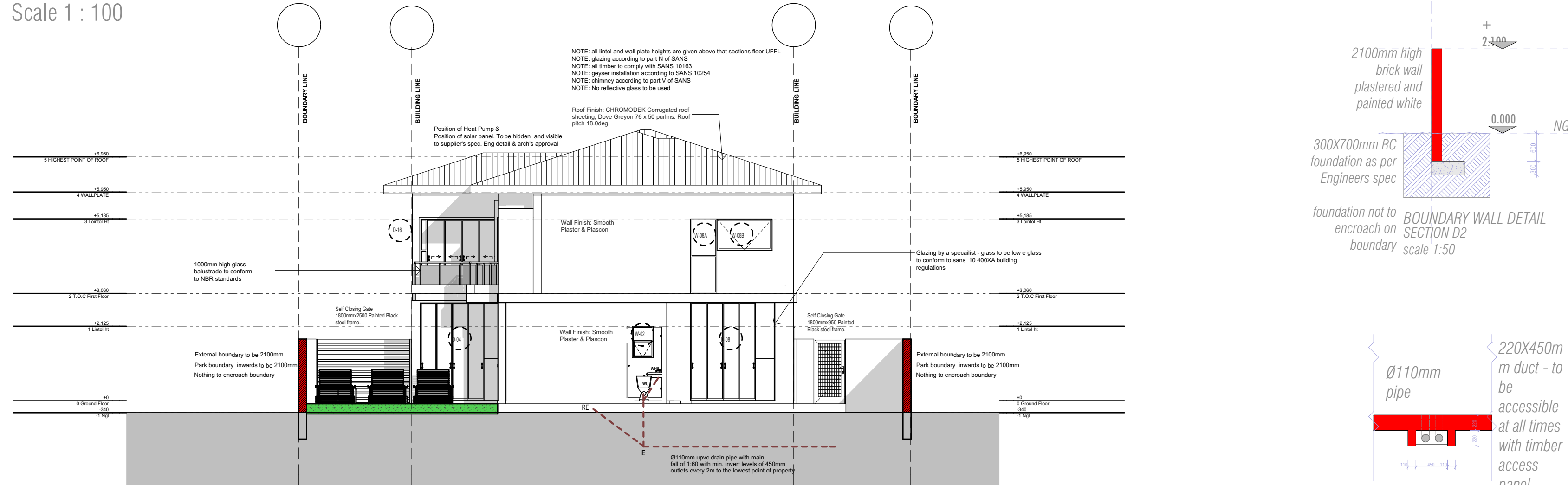
SOUTH ELEVATION

Scale 1 : 100



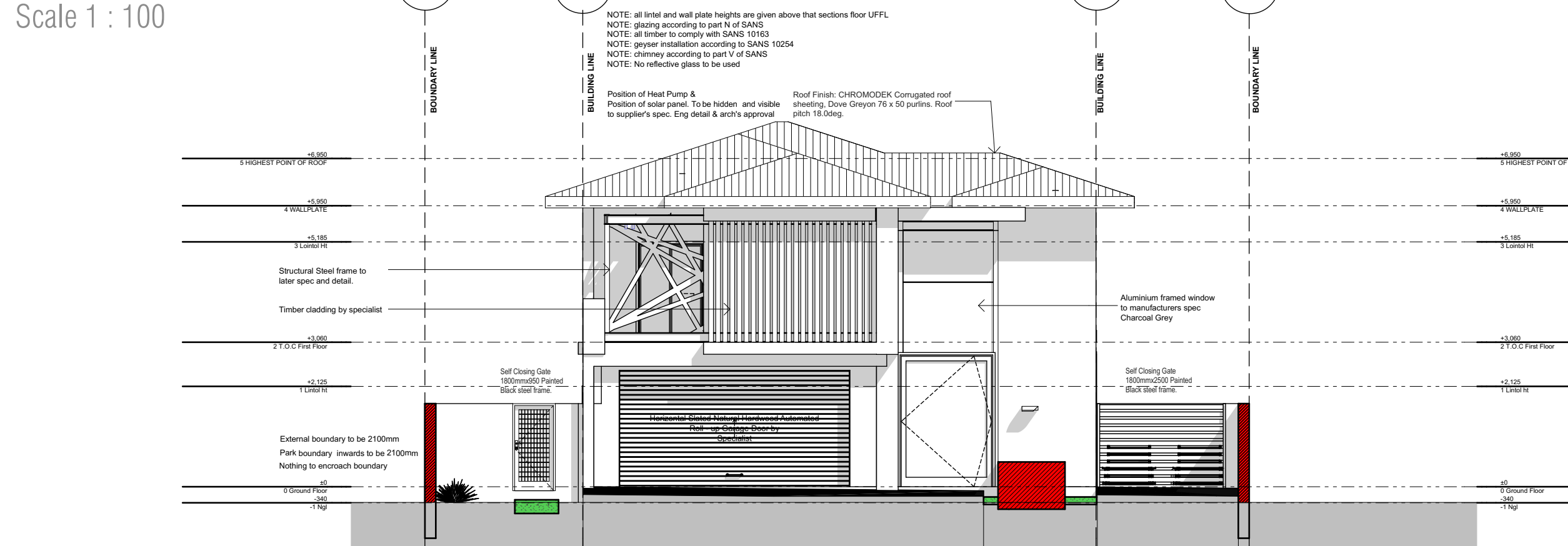
NORTH ELEVATION

Scale 1 : 100



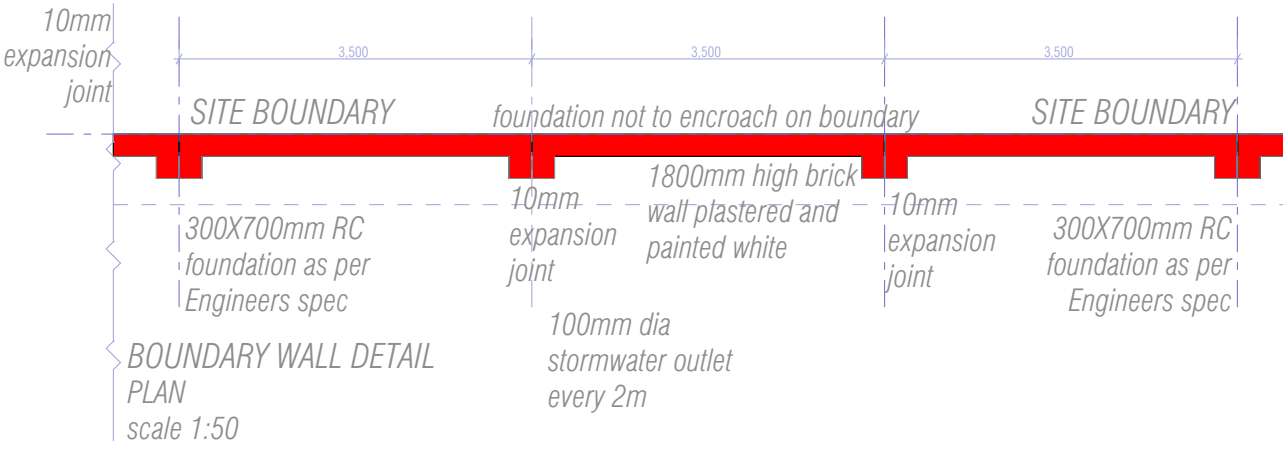
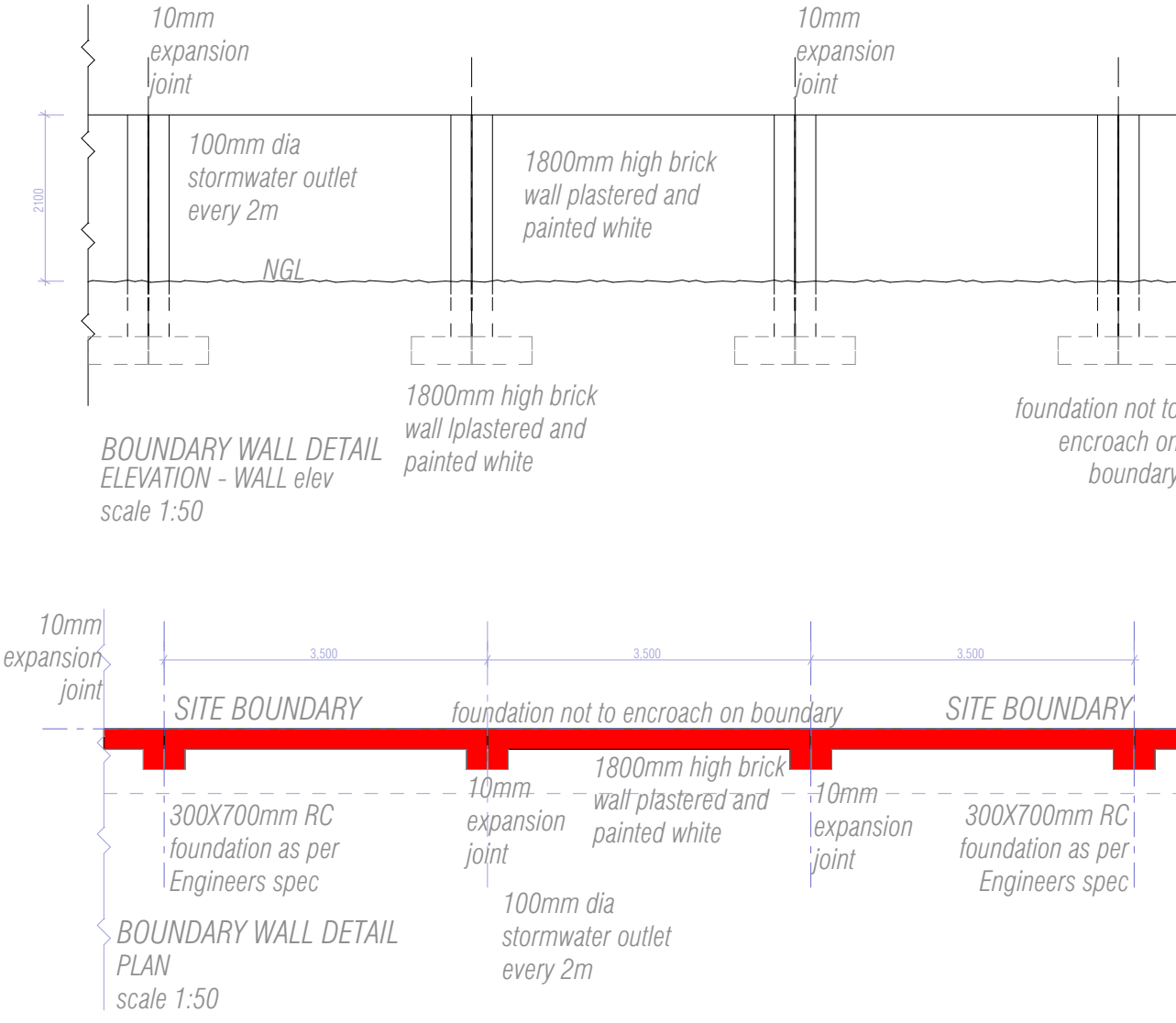
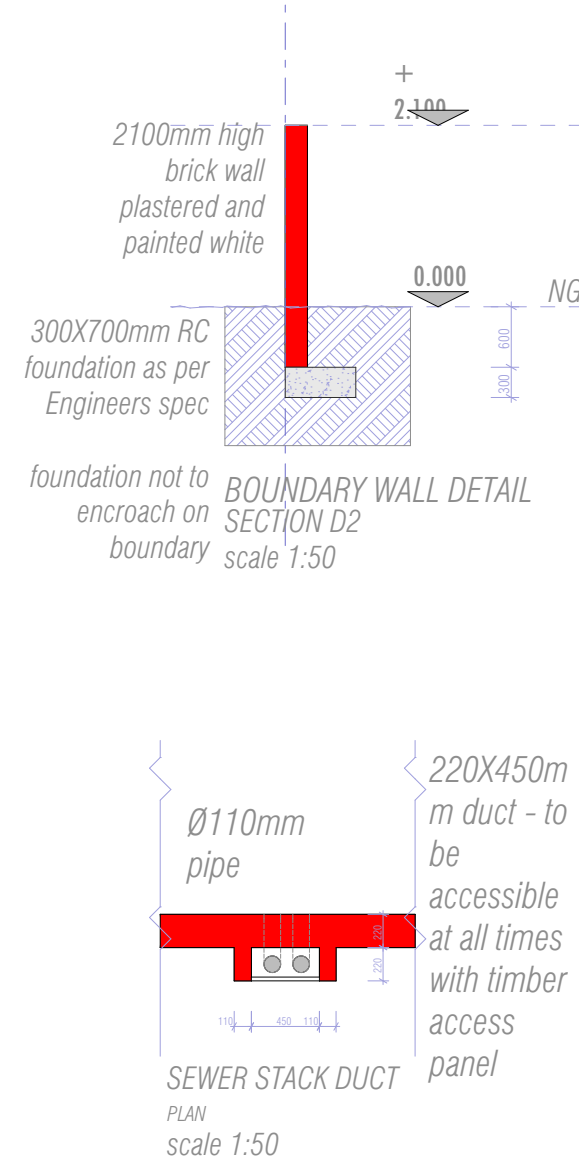
EAST ELEVATION

Scale 1 : 100



WEST ELEVATION

Scale 1 : 100



NOTES

- A: FOOTINGS:-**
1. ALL FOOTINGS TO BE DONE TO ENGINEERS DETAIL
- B: FLOORS:-**
1. SURFACE BEDS:-
FLOOR FINISH LAD ON CEMENT SCREED ON RC SLAB ON APPROVED GUNPLAS US GREEN WATERPROOF SHEETING LAD ACCORDING TO ENGINEERS DETAIL.
2. SUBFLOOR GROUND TO BE POSEMED WITH PENETRATION PROOF SOLUTION IN ACCORDANCE WITH S.A. & S. D124 CODE OF PRACTICE AND ANT GUARDS ARE TO BE PROVIDED TO COMPLY WITH LOCAL AUTHORITY REGULATIONS
3. SUSPENDED SLABS:-
FLOOR FINISH BY OWNER LAD ON CEMENT SCREED WITH MIN THICKNESS ON REINFORCED CONCRETE SLAB TO ENGINEERS DETAIL.
C. WALLS:-
1. APPROVED CLAY BRICKWORK, TO COURSES OF BRICKWORK ARE TO BE REINFORCED WITH BRICKFORCE IN SOLID CEMENT MORTAR JOINTS BELOW WALL PLATE LEVEL ABOVE WINDOW HEAD LEVEL & BELOW WINDOW SILL LEVEL.
2. EXTERNAL FACE OF INNER SKIN OF ALL EXTERNAL WALLS TO BE RAGGED AND BENDED WATERPROOF WITH SUITABLE APPLICATIONS OF BITUMEN.
3. PRE-CAST CONCRETE LINTOLS ABOVE DOOR AND WINDOW HEAD LEVEL.
4. GALVANISED WIRE TIES TO BE BUILT IN ALL 230mm WALLS AT 800 CENTRES HORIZONTALLY AND EVERY 6th COURSE VERTICALLY.
5. DAMP PROOF COURSE TO BE EMBOSSED GUNDLER BRICKGRIP 375 micron SABS 952-1969 TYPE B WELL TAPED AT ALL JOINTS AND INTERSECTIONS AND BEDDED AND JOINTED IN CEMENT MORTAR.
F: ROOF:-
1. Roof pitch 20°: Marley Double Roman Cement roof (Standard Amber Colour) on 38x25mm timber battens on D10 Bubble for insulation, on gang-nailed russes at 700mm c/c max. on 114x65mm plate all fastened by wall by hoop iron straps built-in 4 courses into brickwork or tied to r.c. ring beam.
2. FLAT ROOFS - WATERPROOFING ON CEMENT SCREED TO FALLS INTO OUTLET ON RC SLAB TO ENG. DETAIL.
G: CEILING:-
12.5mm GYPSUM SKIMMED RHINOBOARD ON SA PINE BRANDING AT MAX 320mm c.c. WITH SHADOWLINE CORNICE TO ARCHITECTS DETAIL.
H: WINDOWS:-
1. ALL NEW HWOOD & ALUMINIUM WINDOWS AND DOORS.
2. ALL IRONMONGERY SELECTION TO BE CONFIRMED WITH THE OWNER.
H: STAIRS:-
1. RC STAIRS
TREAD 300mm
RISER 200mm
TO ENGINEERS DETAIL
ALLOW WOOD & WIRED BALUSTRADE
J: DECKING
1. DECKING TO ENGINEERS DETAIL
GENERAL:
1. ALL WORK TO COMPLY WITH NBR AND STANDARDS ACT SANS 10400.
2. ALL DIMENSIONS AND LEVELS TO BE CHECKED.
3. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES. DRAWINGS NOT TO BE SCALED.
4. SAFETY GLAZING TO BE IN ACCORDANCE WITH SANS 10137 CODE OF PRACTICE - THE INSTALLATION OF GLAZING IN BUILDINGS.
5. BALUSTRADES, HANDRAILS, HEIGHTS AND OPENINGS TO COMPLY WITH MMS AND DD2.4 OF SANS 10400
6. RWOP TO HARDENED SURFACE TO STORMWATER MAINHOLE
7. ALL STORMWATER DRAINAGE TO ENG. DETAILS
8. DPC TO BE INSTALLED UNDER WINDOW SILLS
9. ALUMINIUM RWOP AND GUTTER
DRAINAGE:
1. INSPECTION EYES TO BE PROVIDED AT JUNCTIONS AND BENDS TO ALL SOIL AND WASTE PIPES.
2. ALL INTERNAL PLUMBING TO BE EXPOSED.
3. ALL FITTINGS ON SEPARATE BRANCHES WITH SEPARATE ENTRIES TO SINGLE STACK DRAINAGE.
4. ALL SOIL PIPES TO BE MIN 100mm Ø.
5. ALL WASTE PIPES TO BE MIN 30mm Ø.
6. VENT VALVES TO BE FITTED TO ALL FITTINGS.
7. ALL URINALS TO BE FITTED WITH 40mm DEEP SEAL TRAPS AT FLOOR LEVEL.
8. ALL SHOWERS TO HAVE HOT AND COLD WATER.
ENDORSEMENTS:-
FLOORS:
TO COMPLY WITH SANS 10400 - J-2011
WALLS:
TO COMPLY WITH SANS 10400 - K-2011
ROOF:
TO COMPLY WITH SANS 10400 - L-2011
STAIRS & BALUSTRADE:
TO COMPLY WITH SANS 10400 - M-2011
GLAZING:
TO COMPLY WITH SANS 10400 - N-2011
DRAINAGE:
TO COMPLY WITH SANS 10400 - P-2011
STORMWATER:
TO COMPLY WITH SANS 10400 - R-2011
NATURAL LIGHTING:
TO COMPLY WITH SANS 10400 - O-2011
ENERGY EFFICIENCY:
TO COMPLY WITH SANS 10400 - XA-2012 & 2014 - 2011

BUILDING DESIGN GUIDELINES
4.1 All plans must be prepared by a Registered Architect or a Registered Architectural Draughtsman and submitted for approval to the Architect on record assisted by CIVICUS Architectural committee (see clause 9 of this document for further instructions). Only after approval has been obtained can plans be submitted to the local authority. It is the owner's responsibility to ensure that all plans are submitted and approved by both authorities prior to construction.
4.2 The privacy of surrounding properties should be considered. As a general rule no windows or balconies on the upper story should overlook the living space of the adjacent dwelling, next to or behind it.
4.3 No staff accommodation should be nearer to the street than the main building unless contained under the same roof or integrated into the overall design.
4.4 Staff accommodation and kitchen areas should open onto screened verds.
4.5 Out-buildings and additions should match the original building design and style, elevation and materials usage. No flat roofed carports will be permitted unless it matches and blends with the design of the main dwelling.
4.6 Washing lines and refuse areas must be screened off with a wall of the same material as the external finishes of the house.
4.7 No dog kennels, caravans, boats or trailers are to be visible from the road and may not be placed in the restricted side space (building lines).
4.8 No non-fabricated garden sheds or "Wendy Houses", visible and invasive jungle gyms will be allowed on the Estate.
4.9 No shade netting, bamboo/wood material or unapproved material, flat or lean-to steel structures may be used for carports or any other coverage or screening. An exception may be made (with prior approval from directors) for kids play areas.
4.10 Solar heating panels, if used, should be incorporated into the building and form part of the basic structure and should be clearly shown and annotated on the approval drawings.
4.11 Aerials, TV aerials, air conditioning units, satellite dishes and other items, which do not form part of the basic structure, are to be clearly shown and annotated on the approval drawings and screened where possible.
4.12 No exposed plumbing will be allowed and washing lines should be fully screened and not visible from the street elevations and other elevations onto adjoining properties.
4.13 No deviations from the approved drawings will be permitted unless the deviation is re-submitted and approved in writing prior to construction.
4.14 No dwelling unit (except group stands) may be smaller than 150m² excluding garages and out-buildings.
4.15 The light source to all external lighting (except under covered patio or gazebo roofs) must be wall mounted or otherwise may not be more than 1m above natural ground level and may not shine onto adjacent properties. All external site lighting is subject to neighbours' approval.
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4.16 The purchaser must ensure that the Building Contractor to be used by the purchaser to erect the buildings on the property, complies with the following criteria namely: 4.16.1 The building contractor has to be registered with the National Home Builders Registration Council. The purchaser and/or Building Contractor must be in the possession of a NHBRC Registration Certificate before construction may proceed 4.16.2 The building Contractor must comply with the security contractor card system in place at CWE
All plumbing is to be installed as per GI 4.6 and 4.12
All washing lines is to be installed as per GI 4.6 & 4.12
Landscaping planting and maintenance of the landscape will be designed to create an attractive, aesthetically diverse, and harmonious landscaping plan within the properties. Nothing shall be erected that would effect a homeowners view or sunshade exposure. Ornamentation
All trees or large bushes installed on a property must be approved by the committee

TABLE OF REVISIONS		
REVISION	DATE	DESCRIPTION
A	30-07	ESTATE SUBMISSION

OWNER'S SIGNATURE
ARCHITECT'S SIGNATURE
ENGINEER'S SIGNATURE

DEFT DESIGNS & PROJECTS
Deft Design & Projects (Pty)Ltd
Reg. No. (2015/102247/07)

Sandton Close 2 Building, Block B, 2nd Floor, Cim 5th Str & Norwich Close, Sandton
Tel: (011) 795 9955 Cell: (078) 2341588 Email: mkhize@gmail.com

PrArch: Olwethu Prince. Z Mkhize
Sacap Reg: PrArch: 39624361

SCALES USED: 1:100

PROJECT DESCRIPTION
PROPOSED NEW DWELLING
MR SANNY PAPI
SEC 41
ERF 1988
RAYTON
EMMERALD HILLS

DRAWN: NJB	CHECKED: OPZ
DATE: 27.2020	ARCHITECT'S SIGNATURE
TRACED:	APPROVED:
DATE:	DATE:

DRAWING DESCRIPTION
ELEVATIONS

N

SUBMISSION

PROJECT NUMBER 1701	DRAWING NUMBER 103
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