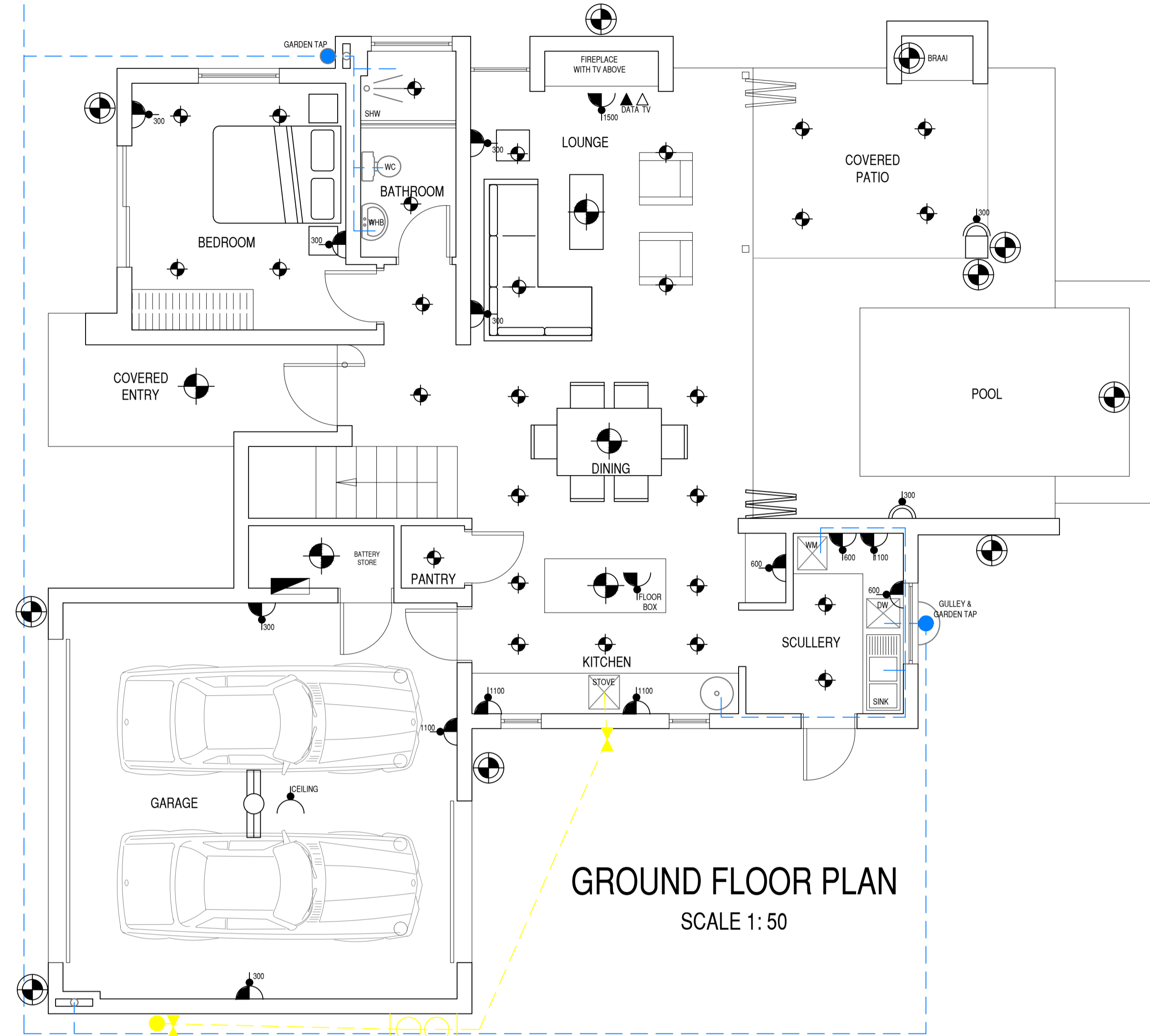
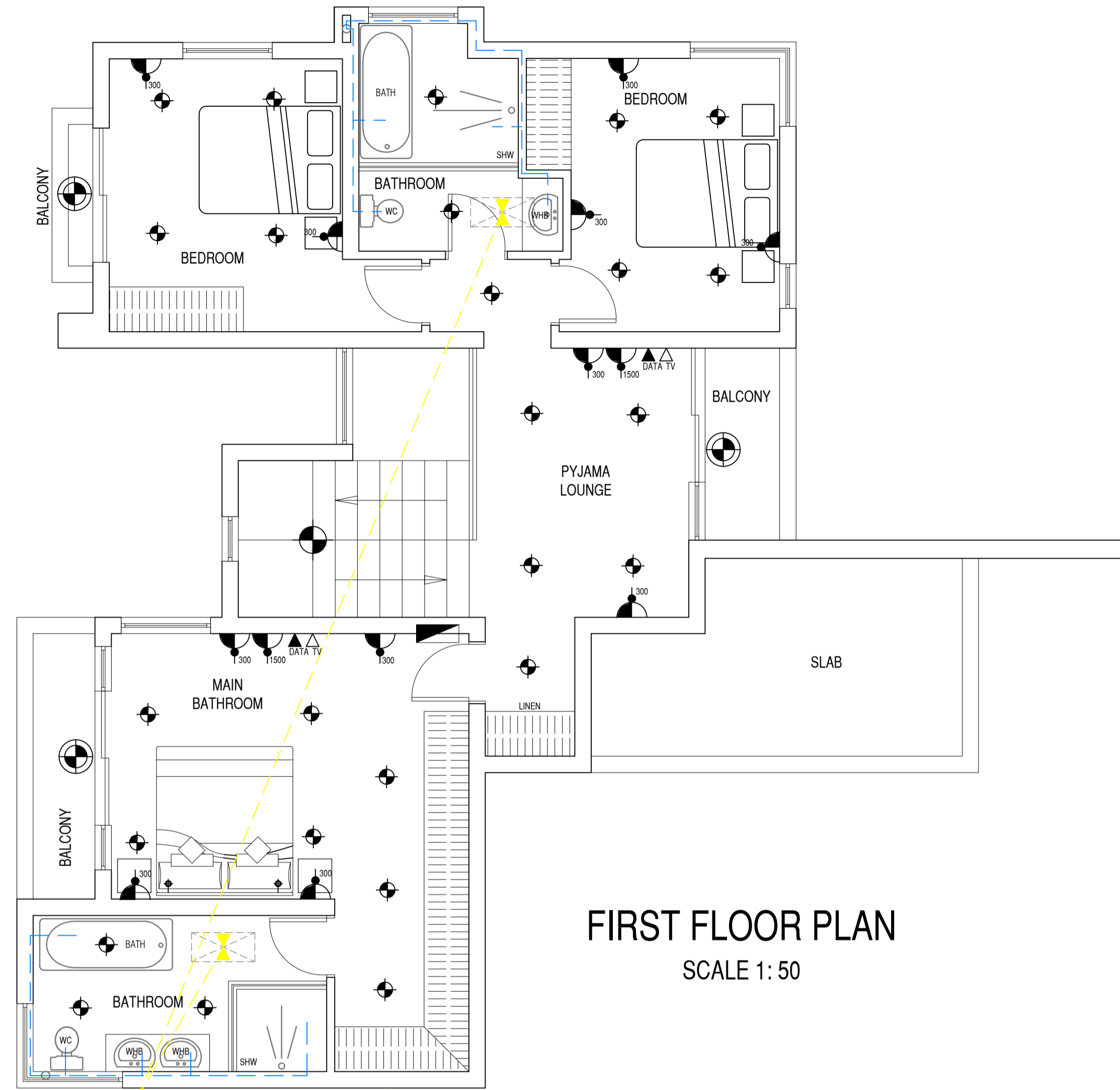


WATER CONNECTION POINT  
TO BE VERIFIED BY HOA ON SITE

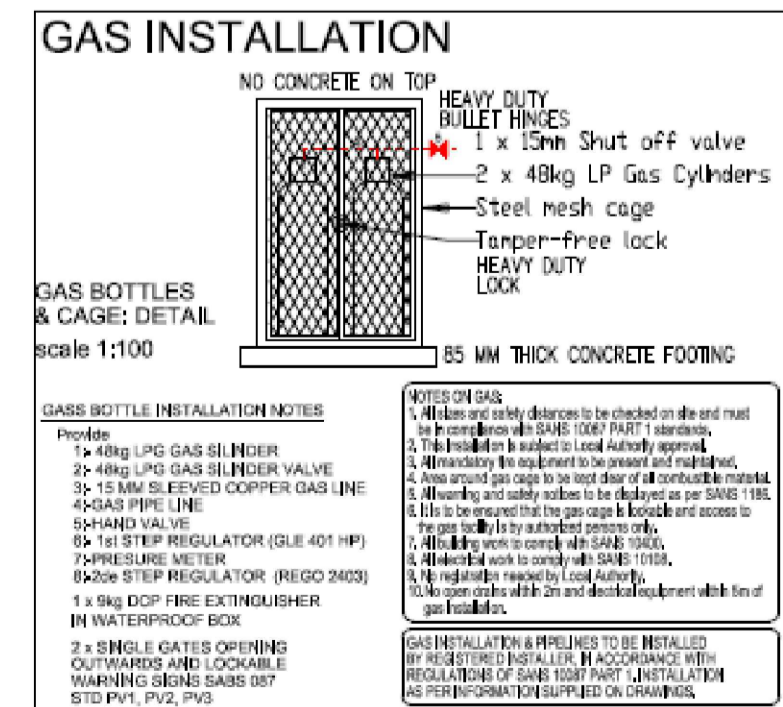


GROUND FLOOR PLAN  
SCALE 1: 50



FIRST FLOOR PLAN  
SCALE 1: 50

HOT WATER REGULATIONS	
* Hot water supply must comply to SANS 10400 XA and 204 regulations. * Calculations as per SANS 10252-1:2004	
PARAMETERS	INSULATION REQUIREMENTS
Type of accommodation : Dwelling unit, Medium to high rental	Internal diameter of hot water pipes : Less than 60 mm
Assumed hot water consumption : 115 Liters/day	Min. required R-value of insulation : 1,5 (SANS 204-4.5.2)
No of persons : 6	HOT WATER VESSELS
Assumed daily hot water consumption : 690 L	Temperature of water in vessel : 60 degrees
Assumed annual hot water consumption : 251,85 kL	Max. Temperature of water that discharge : 55 degrees
50 % OF DAILY HOT WATER DEMAND BY MEANS OTHER THAN ELECTRICITY : 345 kL	Min. required R-value of insulation : 2,0 (SANS 10400 XA2)
CONCLUSION	
The dwelling unit must be provided with 1 x 150 L hot water vessels (Electrical geyser), preheated by SOLAR PANELS & a gas geyser at the Kitchen. (ENGINEER TO DESIGN ROOF TRUSSES FOR HOT WATER VESSEL OF 300 L AND LARGER) The design of the hot water system and calculations, comply with the SANS 10400 XA2001 and SANS 10252-1:2004 regulations	



All plumbing and electrical work to be carried out by registered persons, and on completion must provide a certificate of completion and compliance.  
All plumbing to be hidden in ducts.  
50% of daily hot water supply must be from an alternative source other than electricity, to comply with SANS 10400 XA  
All warm water pipes must be insulated to a minimum R-value of 1,5 to comply to SANS 204 (4.5.2)  
All warm water vessels must be isolated to a minimum R-value of 2,0 to comply to SANS 10400 XA2  
No exposed outside wiring allowed  
Potable water (municipal water) for drinking purposes to comply with SANS 241-1 & 241-2.

**ELECTRICITY NOTE**  
Internal and external lighting must be with energy saving lamps (GLS, CFL and LED must be used)  
Outdoor / Exterior lights must be 1,8 m high above the ngl  
Provide forward light only.  
Uplight and back light shields are important!

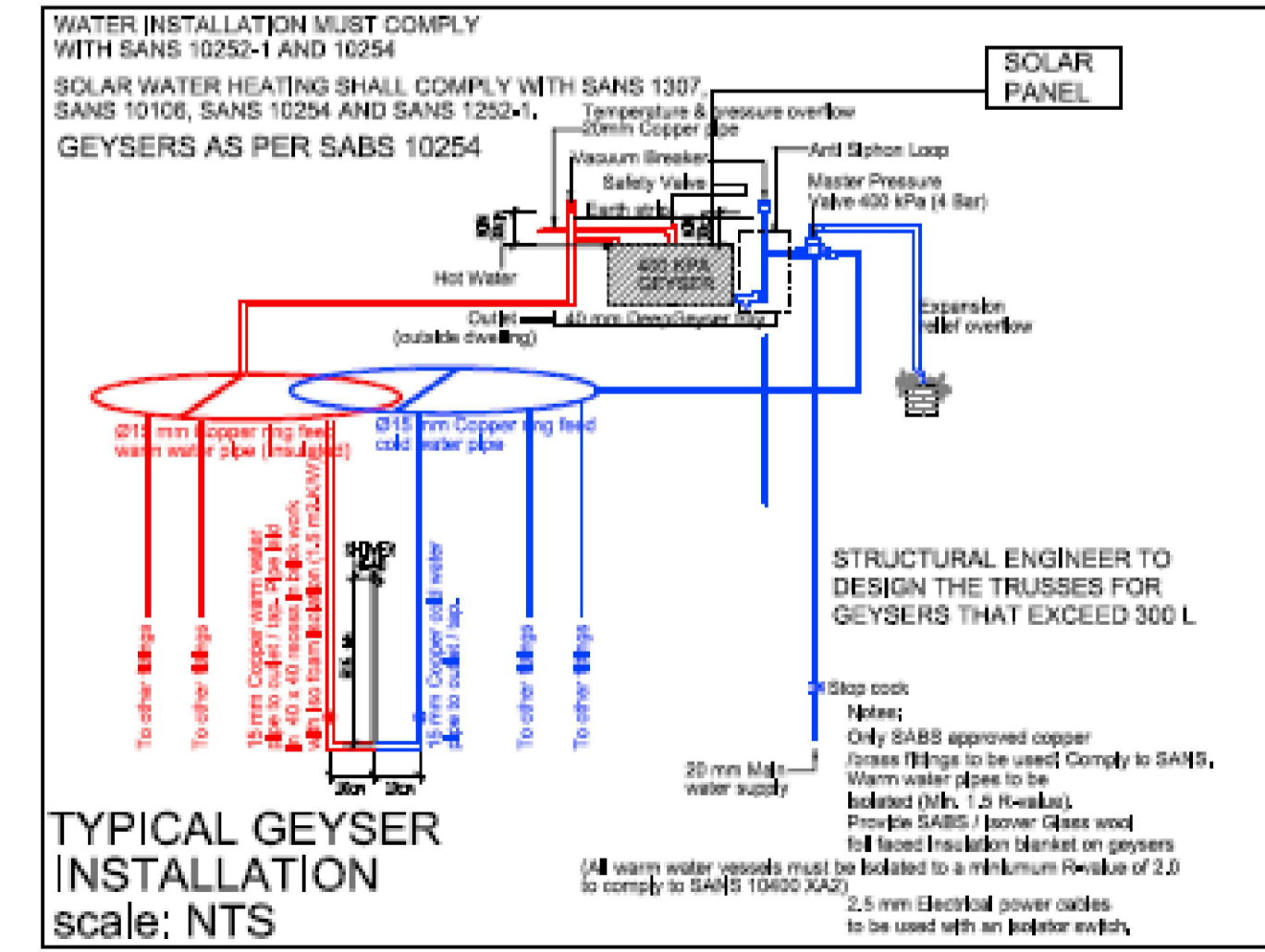
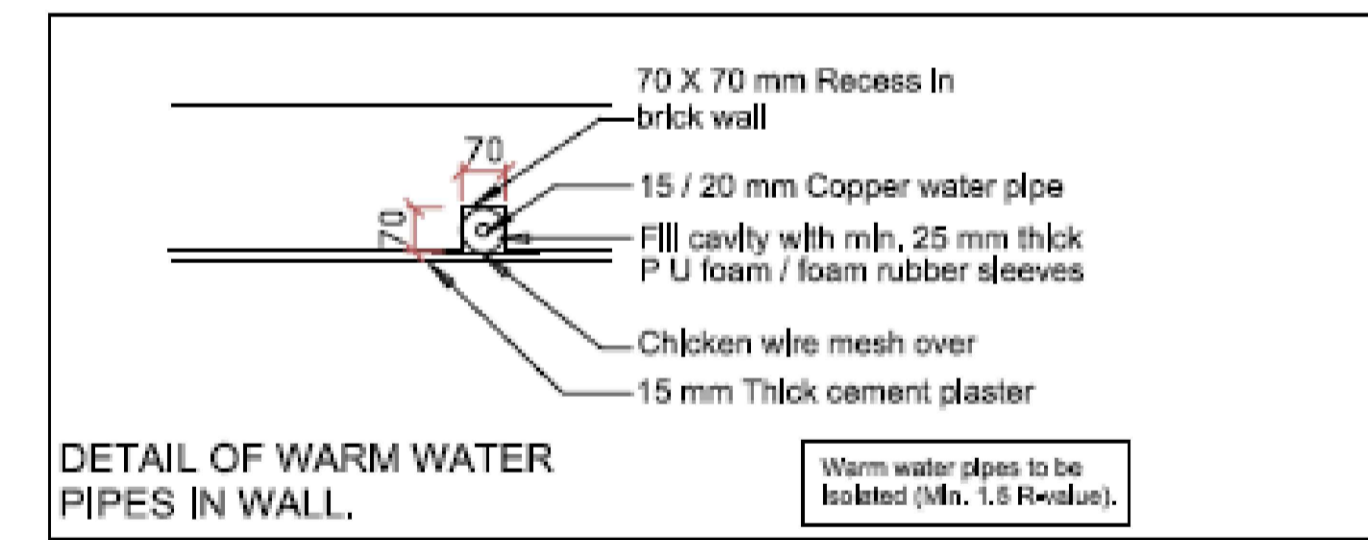
ELECTRICAL & LIGHTING	
	OUTSIDE LIGHT WALL MOUNT
	DOWNLIGHT
	FLOURESCENT LIGHT
	WATERPROOF DOUBLE PLUG
	DOUBLE PLUG POINT
	SINGLE PLUG POINT

	STOVE ISOLATOR
	TELEVISION POINT
	DATA POINT
	CEILING MOUNTED FITTING
	STAIR LIGHT
	CHANDELIER
	DB BOARD

GAS & PLUMBING	
	GAS GEYSER
	GARDEN TAP
	COLD WATER PIPE
	GAS PIPE
	GAS SHUT OFF VALVE
	VERTICAL GAS RUN SURFACE MOUNTED

**SEWER NOTE**  
- PROVIDE ANTI-VAC TRAPS ON ALL WASTE WATER FITTINGS  
- PROVIDE Ø  
- BRASS TRAPS ON ALL SHOWERS - ALL FLOORS  
- SEWER LAYOUT TO COMPLY TO NBR  
- GEYSERS AS PER SABS 10254  
- ALL SEWER PIPES TO BE IN DUCTS, COVERED WITH FIBRE CEMENT SLATS  
- 50% OF WARM WATER SUPPLY MUST BE FROM ALTERNATIVE SOURCE, OTHER THAN ELECTRICITY  
- ALL WARM WATER PIPES MUST BE INSULATED!

**STORM WATER MANAGEMENT**  
Storm water management by means of sloping paving, Provide 1 m paving around dwelling.  
Provide Ø110 PVC storm water pipes on natural ground level in all boundary walls every 3 m.  
Note: No concentrated storm water is to be discharged directly in neighboring stands.



15/11	ISSUED FOR CONSTRUCTION	OB	A
DATE	REVISION DESCRIPTION	BY	NO.

LOCATION PLAN:

CLIENT DETAILS:  
BWS

PROJECT DESCRIPTION:  
NEW HOME ON ERF 1092  
PINNACLE VIEW  
MELODIE EXT. 36  
HARTEBESPOORT  
NORTH WEST

DATE:  
NOVEMBER 2021

SCALE:  
AS SHOWN

DRAWING NO.:  
SERVICE DRAWING

DRAWN BY:  
OB

REV. NO.:  
A

All contractors to check and confirm site dimensions and levels before proceeding with any work. Only figured dimensions are to be used.  
Contractors are to be notified of any discrepancies prior to manufacture and installation.  
Each contractor is to guarantee the structural stability of supplied components and ascertain that the main structure is capable of supporting all the loads applied thereto.  
Contractors are to ensure that materials used are of a contract nature and climatically suitable for the location of the project.  
All work indicated in this drawing is to be produced by a contractor familiar with the execution of the required components.  
Relevant SABS (South African Bureau of Standards) code 0400 requirements are to be maintained as a minimum. Where these standards are unavailable, the appropriate British standards are to be used.  
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The information contained on this drawing may only be used for the project indicated.

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